

## REVISED DCP CONTROLS

**Part 11.3 – Heritage Area Plan for the  
Teralba HCA**



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Teralba HCA

**FINAL DRAFT**

June 2021

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# 1.0 Introduction

This is Part 11.3 of the Lake Macquarie Development Control Plan (DCP) 2014 (LMDCP 2014), which forms part of Part 11, 'Heritage Area Plans', of the DCP.

This part contains objectives and controls for development within the Teralba HCA. The Teralba HCA is identified in Schedule 5 of the LMLEP 2014. It is recognised to have heritage significance for its historical, aesthetic and social values.

Properties and buildings within the Teralba HCA have been graded based predominately on their aesthetic presentation, but also based on their historical context. Significance gradings for the HCA are provided for reference in **Figure 2** of this document. It is also noted that a number of locally listed heritage items, as identified in Schedule 5 of the LMLEP 2014, are located within the Teralba HCA. Heritage items include 'Great Northern Hotel' (Item ID 161), 'House "AS"' (Item ID 164), and 'Teralba Public School' (Item ID 168).

## Conservation Philosophy

This section of the LMDCP 2014 adopts the conservation philosophy embodied in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter).

The Burra Charter is widely accepted by Government agencies at all levels and by private industry as the standard philosophy for heritage conservation practice in Australia. The Charter sets down principles, processes and practices for the conservation of significant places.

Note: The term 'original' as used throughout the DCP refers to any significant fabric. This may be from a range of historic periods.

## 1.1 Land to Which this Plan Applies

The Teralba HCA is identified in the LMLEP 2014 and is located approximately 22 kilometres west southwest of the Newcastle central business district, and approximately six kilometres north of Toronto. The Teralba HCA is a site of important heritage significance. This Area Plan contains objectives and controls for development within the Teralba HCA, which will protect and enhance the recognised significance of the place by retaining and enhancing features that characterize Teralba and contribute to its significance.

Where the provisions of this Area Plan are inconsistent with the provisions of any other part of the LMDCP 2014, the provisions of this Area Plan take precedence.

This Area Plan applies to all of the land shown within the boundary in **Figure 1** of this document.

## 1.2 Development to Which this Section Applies

This section applies to development that requires development consent under LMLEP 2014.

## 1.3 Limitations

The following limitations apply to this study:

- The Building Assessment sheets have been prepared based on external visual inspection only. No internal inspections of privately owned properties were undertaken as part of this study.
- The Building Assessment sheets are predominately informed by high-level historical research only, in accordance with project scope and budget constraints. Additional information has been provided by property owners in some instances, and where relevant this has been incorporated into the Building Assessment sheets.
- This study does not consider Aboriginal cultural heritage in detail (refer to **Section 2.2** of this document). Further work is recommended to better understand the Aboriginal cultural heritage and shared values of the Teralba Heritage Conservation Area, with such work being outside the scope of this study.





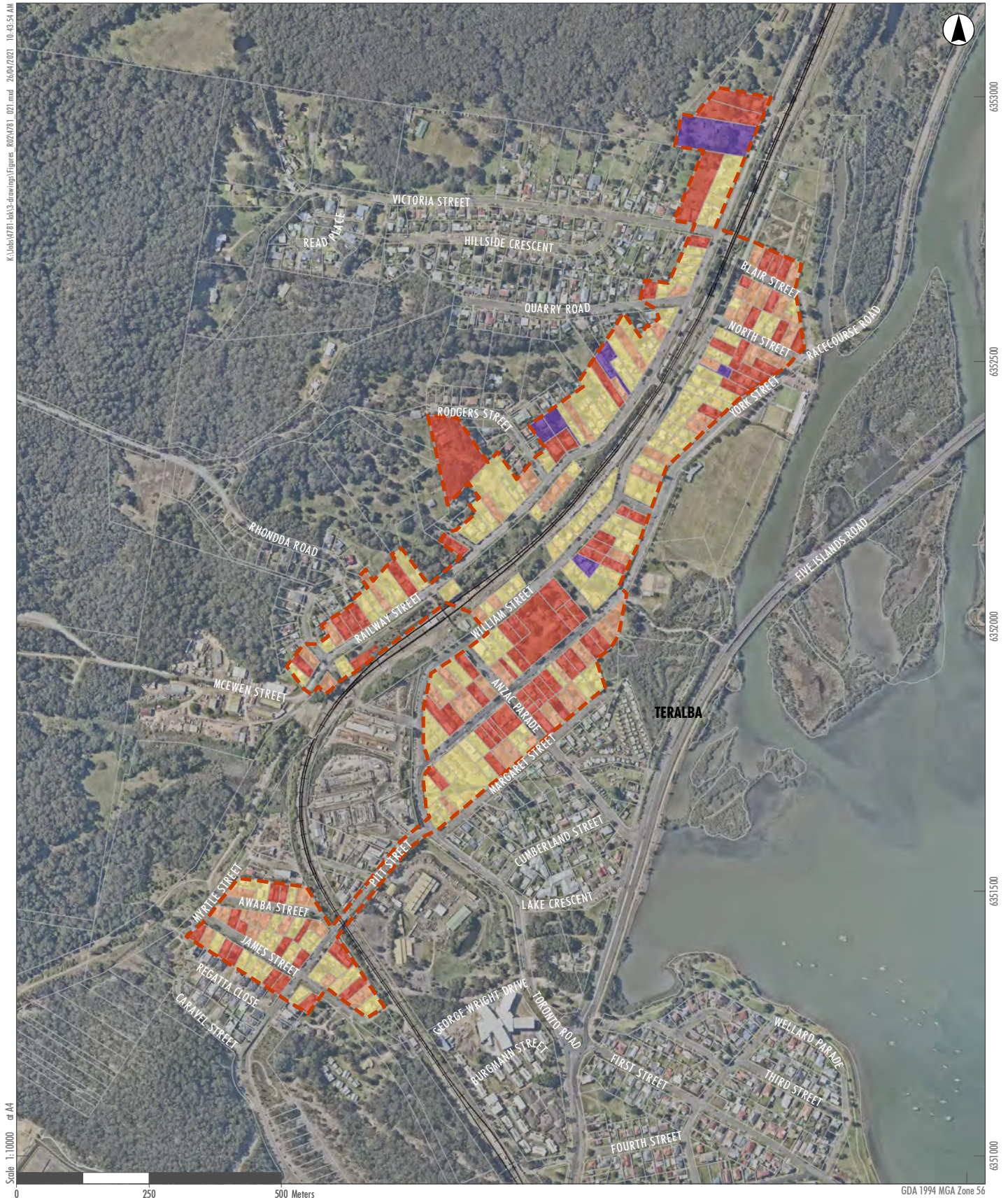
# Legend

- Area to which this plan applies (Teralba Heritage Conservation Area)
- Property Boundaries
- railway

FIGURE 1

Area to which this plan applies





- Legend**
- Teralba Heritage Conservation Area
  - Level of Heritage Significance Grading**
  - Contributory 1
  - Contributory 2
  - Non-Contributory
  - Not Assessed

FIGURE 2

Significance gradings across the  
Teralba Heritage Conservation Area



## 1.4 Objectives

The objectives of this part are to:

- O1 Facilitate the implementation of the objectives and controls relating to heritage conservation contained within the LMLEP 2014.
- O2 Acknowledge and conserve the heritage significance, landscape setting and visual setting of the Teralba HCA, and provide guidelines and controls that are intended to protect this heritage significance and setting.
- O3 Encourage the ongoing conservation of heritage items and contributory items (graded as Contributory 1) within the HCA.
- O4 Ensure that development and design outcomes are complementary and sympathetic to the heritage significance of the HCA and the individual buildings contained therein, including their settings.
- O5 Encourage change that will remove non-contributory, uncharacteristic or detracting items.

## 1.5 Relationship to Other Parts of the DCP

Part 11.3 of the LMDCP 2014 should be read in conjunction with the other parts of the DCP that are relevant to the development proposal, including but not limited to:

- Part 3** Development within Residential Zones
- Part 4** Development in Business Zones
- Part 5** Development in Industrial, Business Park & Infrastructure Zones
- Part 9** Specific Land Uses – this part contains sections on multi-dwelling housing, residential flat buildings, secondary dwellings and housing on small and narrow lots

## 2.0 Existing Character

### 2.1 Statement of Significance

The Teralba Heritage Conservation Area is of local heritage significance for its historical, associative, social and aesthetic heritage values, as well as its representativeness. Teralba is one of the earliest railway and mining settlements in Lake Macquarie, and the conservation area is reflective of the key early industries that have historically characterised the development of individual townships within the Lake Macquarie local government area, including mining, the development of the railway, and the establishment and ongoing operation of small businesses intended to service local populations. The settlement is divided by the railway with each side of the suburb having its own distinct historical and aesthetic importance.

The history of Teralba is inextricably linked with these early industries and their economic dominance throughout the late nineteenth and early twentieth centuries. Significant early enterprises associated with the conservation area include Gartlee Mine (also the Northern Extended), Rhondda Colliery, the Amos Bros Quarry and the Northern Colliery. Though these sites are located outside of the conservation area, the residential and commercial building stock of Teralba are a direct reflection of the economic significance of these enterprises and the role they played in the establishment and ongoing operation of the township. This is also conveyed by the landmark, individually listed Federation Queen Anne style dwelling “House A.S.”, which is located on the northern side of Railway Street and was constructed for Andrew Sneddon, founder of Gartlee Mine.

In terms of aesthetic significance, the conservation area contains a number of both residential and commercial buildings that date from the early history of the town. Despite adverse impacts associated with the loss of many original/early buildings, more recent infill development and unsympathetic alterations and additions to original/early buildings throughout the township, Teralba has retained a sense of place and character that is clearly evidenced by pockets of intact building stock that date from the late nineteenth and early twentieth centuries. This includes the principal axis of the commercial precinct, located at the intersection of York Street and Anzac Parade, and the row of early twentieth century cottages present along York Street and opposite the public school. Significant buildings in this area include but are not limited to the Co-Op Building (73 York Street), the former Post Office (40 York Street), one of the former Police Stations (10 Anzac Parade) and the Teralba Public School (57 York Street).

Later development, which dates from the inter-war period through to the mid-twentieth century, is also present within the suburb and is representative of the evolution of Teralba over time and in response to changing economic influences. The assortment of housing styles dating from a range of periods within Teralba is a testament to its longevity, established initially as a railway and mining settlement and continued into the twenty first century as a lake-side village held in high esteem by the local community for its historical character and picturesque location.

The reverence in which the suburb’s history is held by its local residents is demonstrative of the social significance of the place. Local residents have been active in compiling historical records relevant to the area, and the community’s investment in the suburb is reflected by their active involvement in responses to development applications that would further degrade the conservation area’s integrity. As a whole, Teralba is an important representative example of a relatively intact late nineteenth century township within the Lake Macquarie region.



## 2.2 Aboriginal Cultural Heritage and Archaeology

Prior to European settlement of the region, the Lake Macquarie area was inhabited by the Awabakal people. The spatial distribution of Aboriginal archaeological sites within and around the Teralba area show that the lake itself along with watercourses such as creek lines were frequented by Aboriginal people in the past for the purposes of resource procurement and other activities. There are, however, no registered sites located within the Teralba HCA. This is likely to be due to the extent to which the area has been disturbed through industry and development.

The Heritage NSW, which forms part of the Department of Premier and Cabinet (DPC, formerly the Office of Environment and Heritage -OEH) is primarily responsible for regulating the management of Aboriginal cultural heritage in New South Wales under the *National Parks and Wildlife Act 1974* (NPW Act). The NPW Act is accompanied by the National Parks and Wildlife Regulation 2019 (the Regulation) and a range of codes and guides including the Guide to Investigating, Assessing and Reporting on Aboriginal Cultural Heritage in NSW (OEH 2011), the consultation requirements and the Code of Practice.

Cultural heritage value refers to the spiritual, traditional, historical or contemporary associations and attachments a place has for Aboriginal people (OEH 2011:8). There is not always a consensus about the cultural value of a place as people experience places and events differently. With regards to the Aboriginal cultural heritage of Teralba, it is noted that cultural significance can only be determined by Aboriginal people and is identified through Aboriginal community consultation. Further work is recommended to better understand the Aboriginal cultural heritage and shared values of the Teralba Heritage Conservation Area.

## 2.3 Strategic Overview and Planning Context

Teralba is situated in the north-west of Lake Macquarie, on the Main North railway line connecting Sydney and Brisbane. It consists of a local centre on the south side of the train station, with residential and industrial uses outside the local centre. The centre is located on the southern periphery of the North-West Lake Macquarie Catalyst Area identified in the Greater Newcastle Metropolitan Plan and in the Lake Macquarie Local Strategic Planning Statement (LSPS).

The North West Catalyst Area will drive investment and change in the broader North West Growth Area of Lake Macquarie, which incorporates land between Speers Point, Edgeworth and Cardiff. The Catalyst Area provides opportunity to generate significant jobs, diversity of housing supply, and add more advanced manufacturing, recreation, open space and services to the broader region. Its proximity to the rail line and access to the arterial road network provides a solid foundation for a wide range of economic growth opportunities. These opportunities may include providing:

- large format retail, advanced manufacturing, office-based jobs and open space within a regionally significant catchment;
- A strategic gateway to Greater Newcastle; and
- An urban renewal precinct, meeting demand for affordable medium-density housing and enhanced lifestyle amenities.

The Teralba Precinct, which includes land to the north of the centre, is identified as one of seven precincts in the North West Catalyst Area. Identifying infrastructure required to increase opportunities for manufacturing, light industry and emerging new economy industries to support the transition from mining activities is a priority for this precinct. Local plans will need to be aligned to support commercial and industrial development that leverages the existing rail infrastructure. Suitable economic reuse of mining land is also to be investigated.

The LSPS guides the growth of Lake Macquarie City in line with State and regional planning goals. Teralba is identified as a future growth centre, supported by the Teralba train station, easy connection to surrounding areas, as well as Sydney and Newcastle, connection to the lake and the growing employment opportunities. More intensive residential development is envisaged to occur in and around the centre that is complimentary and sympathetic to the heritage values. In a broader context, investigation is to be undertaken into significant urban expansion from Teralba to the M1, and north to the Newcastle Link Road.

Enabling growth and more intensive development in Teralba while conserving the important heritage of the area is a key challenge. The LSPS highlights this need to review the Teralba Heritage Conservation Area to balance development and growth pressures with delivery of heritage conservation outcomes.

Teralba is well positioned for active transport, with cycle way connections along the lake, through to Barnsley across the Barnsley Weir, and connection to the Great North Walk. There is also an approval for BlackRock Motor Park to the north-west of Teralba centre, making it a potential future tourist destination.

The suburb's historical background is associated with the development of quarrying activities and associated uses. In May 2020, there is still a quarry in operation, but there are also concrete manufacturers supporting the mining and construction industries. Aged care is also a major employer in Teralba.

Teralba businesses account for \$345 million of output each year, 1.7% of Lake Macquarie's total output and 2.7% of the total exports of Lake Macquarie (2018). In 2016 the area provided 630 jobs, increasing to 718 jobs in 2018. This 13.9% increase was significantly higher than the Lake Macquarie job number increase of 6.6% for the same timeframe, demonstrating the significance of the Teralba area. Local businesses include an art gallery/café, a variety of artisan trades and the City's biggest makers place, showcasing works by a host of local artists.

## **2.4 Desired Future Character**

This part seeks to achieve a desired future character for the Teralba HCA which:

- maintains the aesthetic character of the place as a late 19<sup>th</sup> century lakeside village through appropriate infill development that respects the architectural character, scale, and identified heritage significance of the place;
- conserves and enhances contributory elements within the HCA firstly through preservation, and secondly through appropriately designed alterations and additions;
- conserves and enhances the 'village feel' of the principal commercial axis of Teralba, as defined by the intersection of Anzac Parade and York Street, and recognises this as a 'point of difference' for the suburb;
- continues to balance and grow the economic performance of the Teralba area whilst conserving and promoting the heritage significance and character of the Teralba HCA;
- maintains and reinforces the low-scale residential character of the HCA, which is directly linked to its heritage character;
- maintains the relatively intact historical subdivision pattern of the suburb;
- improves the character of the place through contemporary but appropriate public domain works.



## 3.0 Objectives and Controls

### 3.1 General Controls

#### 3.1.1 Context and Setting

##### Objectives

- O1 To protect the unique character of the Teralba HCA.
- O2 To ensure that development occurs in a manner which has no adverse heritage impact on the level of significance of the area.
- O3 To ensure that development maintains established views to and from the HCA and/or to and from heritage items within it.
- O4 To protect and enhance the visual context of the HCA, which is in part defined by its landscape setting.

##### Controls

- C1 Development proposals must incorporate bulk, form, scale and landscaping that is consistent with, and complements the historical development of the Teralba HCA.
- C2 Development is not to exceed the established and/or predominant scale/height of existing buildings within a streetscape.
- C3 Development applications must include a heritage impact statement that identifies the potential impact of development on the significance of the item or areas, and include an assessment of potential impacts to the context and setting.
- C4 The heritage impact statement must include:
  - Details of form, scale, proportion, finishes, ridge levels and fenestration;
  - A statement identifying the level of visual integration of the development with the Conservation Area and an assessment of potential visual impacts, including a contextually accurate photomontage;
  - How adverse heritage impacts have been avoided and/or mitigated.
- C5 The heritage impact statement must identify buildings, structures, landforms and landscape elements which are visually inconsistent (or “intrusive”) and outline how these can be removed to improve interpretation of the significance of the area.
- C6 Developments must not compromise the significance of existing buildings, their curtilage or setting.

### 3.1.2 Landscape Setting

The landscape setting of the Teralba HCA is strongly defined by the underlying topography and associated changes in elevation. In areas to the southeast of the rail line, the elevation is lower and the topography less variable. By contrast, areas to the northwest and southwest of the rail line are of a higher elevation with greater variability in the underlying topography.

As the landscape setting of the area has been subject to minimal change over time, the development of Teralba responds to and reflects this underlying topography. This is most evident on James Street and Railway Street, where the scale of development is slightly greater than that seen in the lower parts of the HCA (such as in the vicinity of the principal commercial axis of York Street and Anzac Parade, where land is relatively flat) as the landscape is better able to accommodate dwellings of more storeys and slightly greater scale in response to underlying topography (i.e. greater degree of variability in slopes).

In addition to the above, the presence of remnant vegetation around the periphery of the HCA contributes strongly to its setting and reinforces its character as a relatively isolated suburb developed between the lake to the east and elevated areas less suitable for residential development to the west.

#### Objectives

- O1 To retain the existing landscape character of the Teralba HCA.
- O2 To ensure that development maintains established views into and within the HCA (reference should be made to **Figure 5** and **Figure 6** of this document).

#### Controls

- C1 The underlying topography of an allotment must be considered and utilised in designing alterations and additions or infill development. Where possible, the topography should be used to minimise the visibility of the new development (including additions). Reference should be made to **Figure 7** of this document.
- C2 New development should be consistent with the surrounding streetscape with regards to the ways in which it responds to the underlying topography.
- C3 Minimising visual impacts is to be prioritised over avoiding earthworks where this would result in the least adverse heritage impact, noting that excavation will be considered on its merit, where it results in maintaining the predominant height and scale of the streetscape.
- C4 Any proposal that involves earthworks to facilitate development must be undertaken in accordance with Section 4.14 of the LMDCP 2014 ('Cut and Fill'), specifically Table 10.
- C5 Aboriginal archaeology must be considered as part of any proposal that involves substantial earthworks. Reference should be made to the *Lake Macquarie Aboriginal Heritage Management Strategy* 2011 and the relevant sections of the LMDCP 2014.
- C6 The bushland setting of the Teralba HCA should be considered and maintained as part of any new development.
- C7 The trees listed in council's Significant Tree Register and located in the Teralba HCA should be considered and maintained as part of any new development. Amenity provided by the trees listed in council's Significant Tree Register should not be reduced.



- C8 The natural vegetation of the Teralba HCA should be considered and maintained as part of any new development. Amenity provided by natural vegetation should not be reduced. Appropriate measures to address impacts may include replacement tree planting, and maintenance of streetscape amenity to and from the item or area.

### **3.1.3 Views and Vistas**

#### Objectives

- O1 To ensure that any development proposal, infrastructure works, vegetation management works, or maintenance activities maintains identified views and vistas of significance, being those shown in **Figure 5** and **Figure 6** of this document.

#### Controls

- C1 Development must not obstruct or detract from significant views and vistas (refer to **Figure 5** and **Figure 6** of this document).
- C2 The potential visual impacts of any new development (including alterations and additions) must be considered as part of an accompanying heritage impact statement.
- C3 When assessing impacts to heritage items or streetscapes, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. Appropriate measures to address impacts may include adequate screening, maintaining view corridors to and from the item or area, increasing or protecting heritage plantings, or considering visual permeability/fragmentation as part of the design.
- C4 When assessing impacts to heritage items or precincts, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. All trees listed in council Significant Tree Register should remain unaffected during development.

### **3.1.4 Form, Massing and Scale**

#### Objectives

- O1 To ensure new development is appropriate and sympathetic to the HCA and its heritage significance in terms of form, massing and scale.
- O2 To complement the predominately single-storey scale of development within the HCA that characterises the area and reinforces the overall aesthetic presentation of the place as a late 19<sup>th</sup> century lakeside village.
- O3 To maintain and enhance the existing heritage character of the Teralba HCA and the streetscapes contained therein, which is strongly defined by low scale development and single dwelling houses.
- O4 To maintain and enhance significant views and vistas within the HCA.





View 1 - View South along Anzac Parade from the Station, showing the entrance to the commercial precinct



View 3 - View Northeast along York Street within the principal axis of the commercial precinct



View 5 - View Southeast along Anzac Parade within the principal axis of the commercial precinct



View 7 - View Southwest along York Street looking into the commercial precinct



View 2 - View North along Anzac Parade from the Station, showing the entrance to the commercial precinct



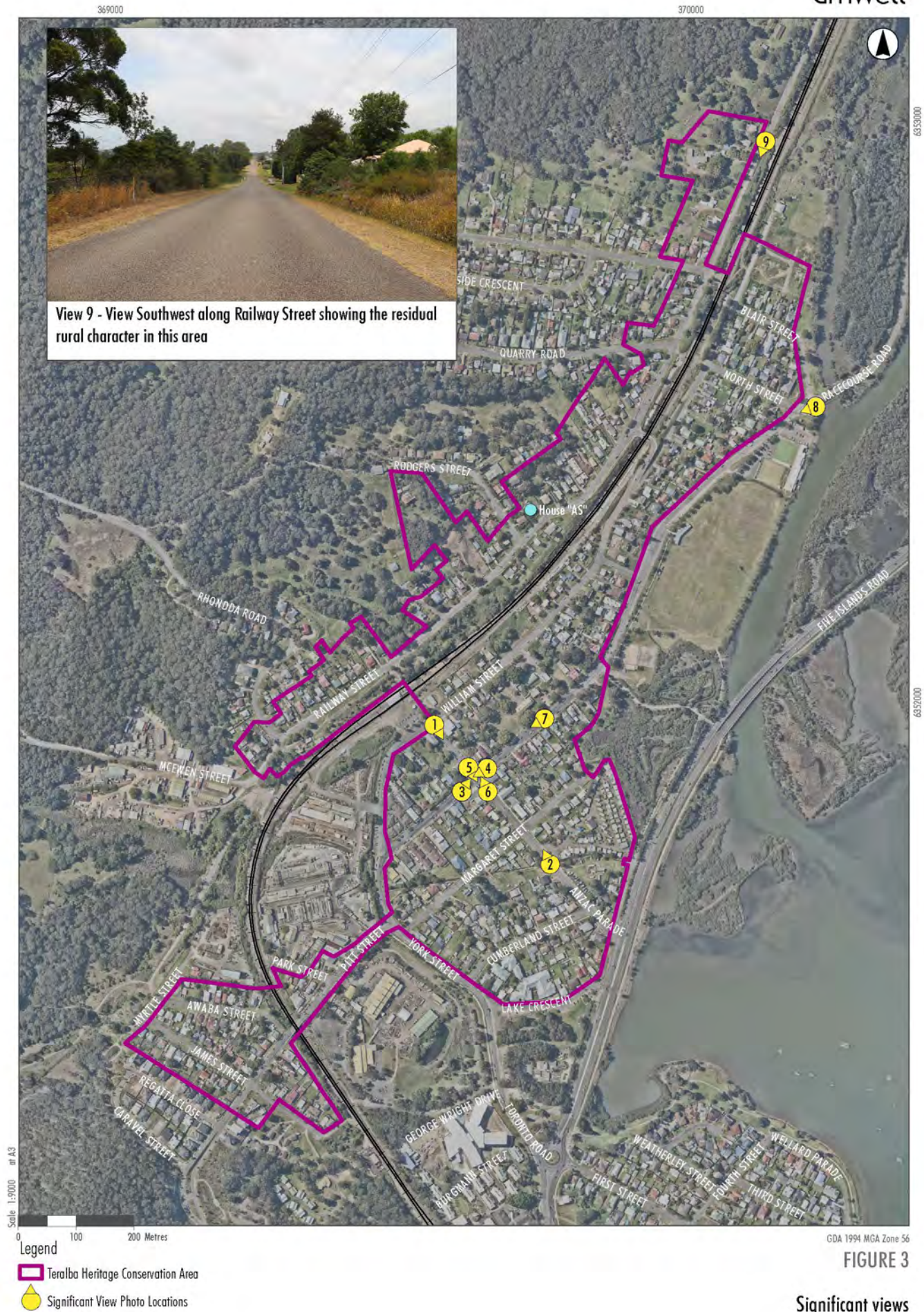
View 4 - View Southwest along York Street within the principal axis of the commercial precinct



View 6 - View Northwest along Anzac Parade within the principal axis of the commercial precinct



View 8 - View Southwest from northern end of York Street showing residential development





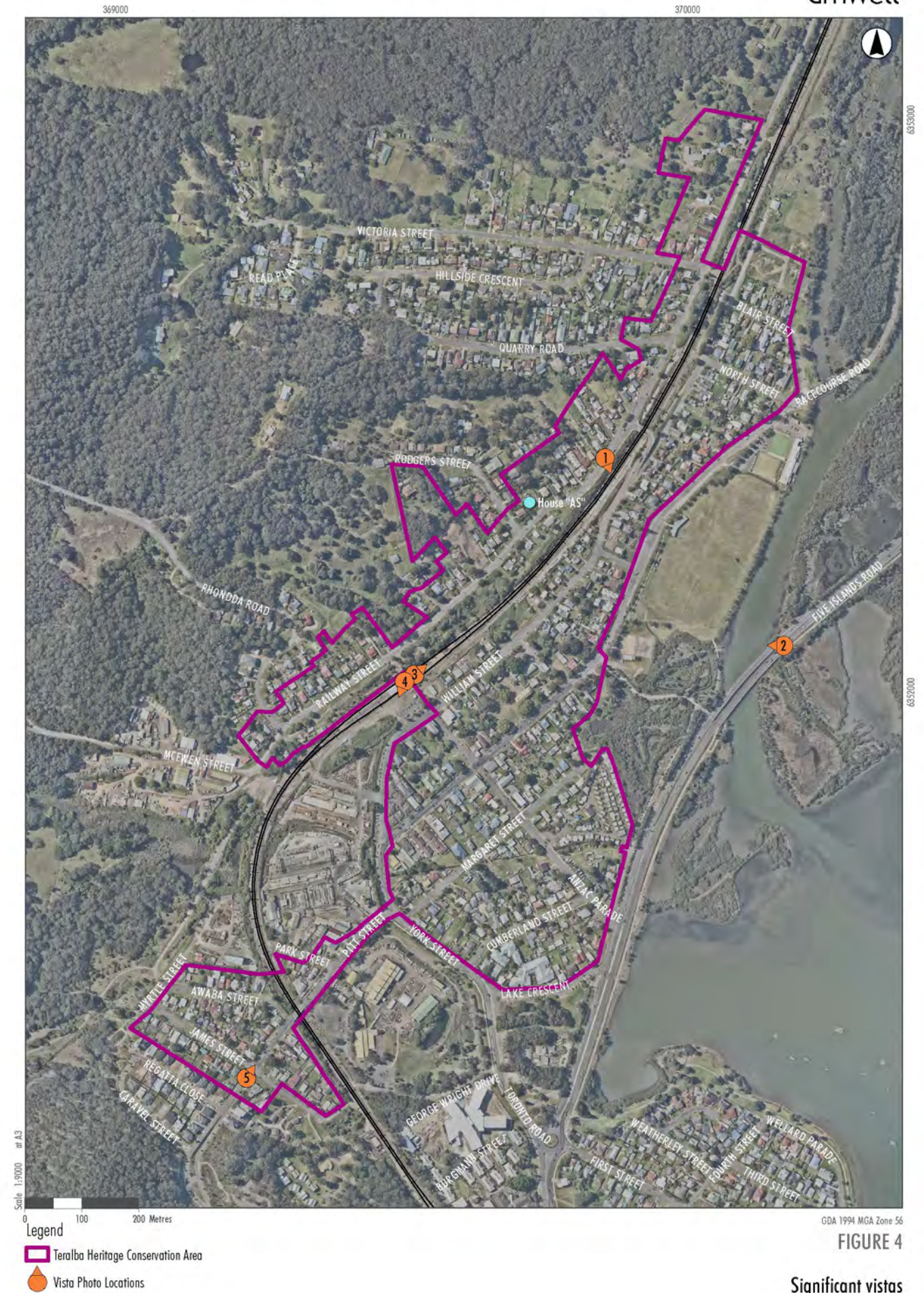


FIGURE 4  
Significant vistas



### Controls

- C1 Development is to reflect the bulk, mass, scale, orientation, curtilage and setbacks of the surrounding context.
- C2 Development is to complement the architectural style and character of the area, including specific streetscapes, where relevant.
- C3 Development must not obstruct or detract from significant views and vistas (refer to **Figure 5** and **Figure 6** of this document).
- C4 The reinstatement of original architectural features or elements is to be attempted, where reasonable, when works are proposed to listed heritage items or Contributory 1 items.
- C5 Where present, consistent patterns of setbacks (front or side) are to be maintained. Where no consistency in setbacks exists within a streetscape, the front setback should be compliant with the other relevant parts of this DCP.
- C6 Contemporary design outcomes may be appropriate, provided that this does not have an adverse impact on the characteristic built form and/or architectural style of the HCA, particularly in terms of bulk, scale, height, form and/or materials.

### **3.1.5 Additions and Alterations**

#### Objectives

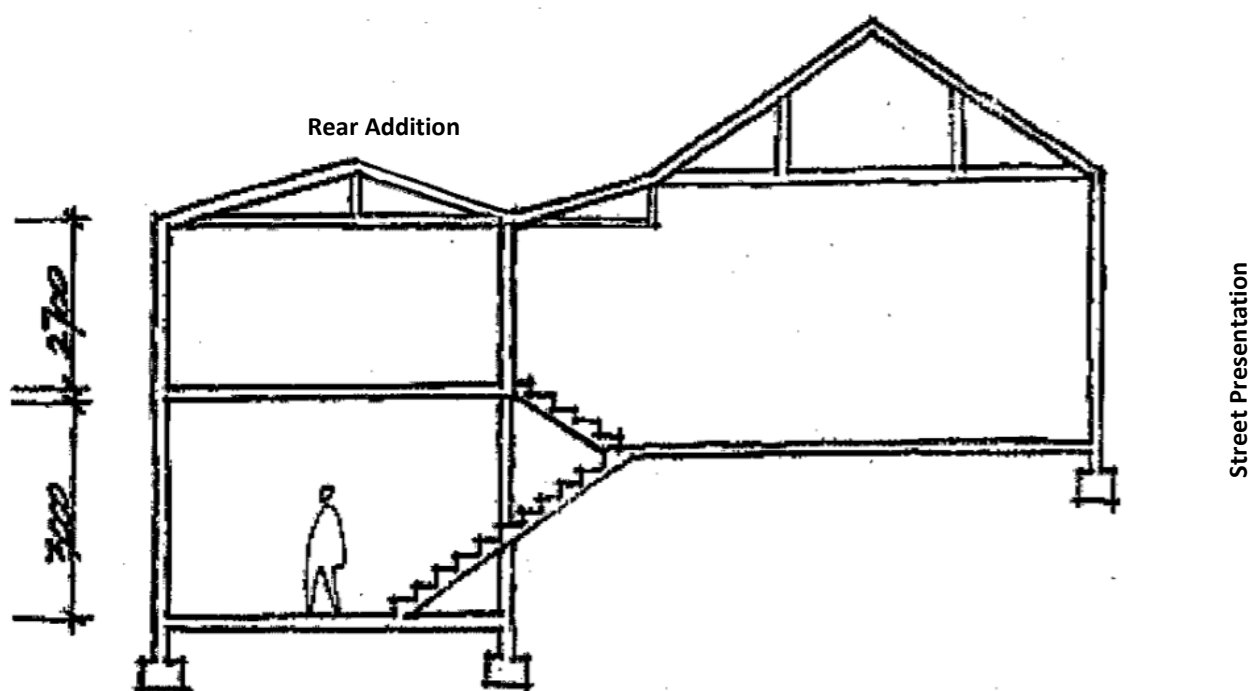
- O1 To ensure that alterations and additions undertaken within the HCA respect and respond appropriately to its heritage significance and character.
- O2 To ensure that the character and form of buildings and streetscapes within the HCA are conserved and enhanced.
- O3 To ensure that new work within the HCA represents high quality and good design outcomes.
- O4 To encourage new work within the HCA to enhance and support the economic performance of the Teralba area, whilst respecting and responding sympathetically to the heritage significance of the HCA.

#### Controls

- C1 Alterations and additions must conserve and enhance, rather than adversely impact or detract from, the heritage significance of the HCA and the heritage items and Contributory 1 buildings contained therein.
- C2 Alterations and additions to heritage items and Contributory 1 buildings are to be undertaken in accordance with the controls provided at **Section 3.4.1** of this document.
- C3 Alterations and additions to Contributory 2 buildings are to be undertaken in accordance with the controls provided at **Section 3.4.2** of this document.
- C4 Alterations and additions to Non-Contributory buildings are to be undertaken in accordance with the controls provided at **Section 3.4.3** of this document.



- C5 Additional storeys or upper level additions to existing dwellings that would have a street presentation are not appropriate.
- C6 Alterations and additions should be designed with reference to **Figure 7** and **Plate 1** of this document.
- C7 The underlying topography of an allotment must be considered and utilised in designing alterations and additions. Where possible, the topography should be used to minimise the visibility of rear additions or alterations. Reference should be made to **Figure 7** and **Plate 1** of this document.

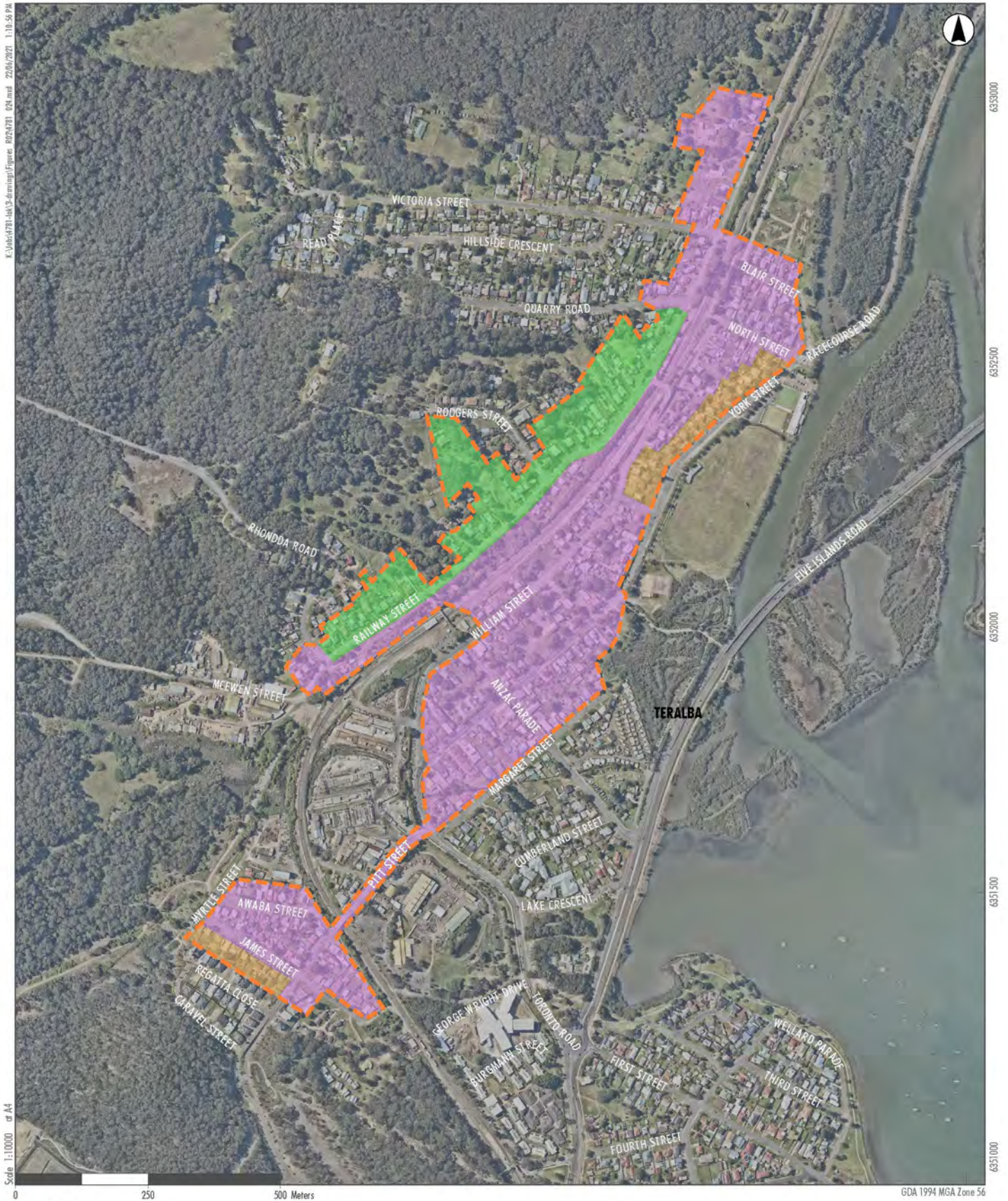


**Plate 1** Example of utilising topography to maintain a single storey presentation to the streetscape whilst allowing for a double storey addition to the rear

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- C8 The height of development must be consistent with the predominate scale of that streetscape. This may vary between streetscapes (e.g. the southern side of York Street between Anzac Parade to Tukulba Park is to be limited to development one storey high, while the southern side of James Street can accommodate development 1-2 storeys high in response to the underlying topography). Reference should be made to **Figure 7** and **Plate 1** of this document.





## Legend

Teralba Heritage Conservation Area

## Guidelines for Height of Development

- 1-2 Storeys. Street presentation of 1 storey plus substantial sub-floor level. 1-2 Storeys at rear pending visual impact
- 1-2 Storeys. Street presentation of 1 storey. 1-2 Storeys at rear pending visual impact
- 2-3 Storeys. Street presentation of 1 storey plus substantial sub-floor level. Additions of 2-3 Storeys at rear pending visual impact

FIGURE 5

Guidelines for height of development



### 3.1.6 Infill Development

#### Objectives

- O1 To ensure new development is consistent with and sympathetic to the character of the HCA and Contributory 1 buildings contained therein in terms of materials, bulk, scale, character and setback.

#### Controls

- C1 Infill development within the Teralba HCA is to be compatible with the surrounding area and is to be designed to respect the character of the area and buildings of significance by responding sympathetically to:
- The existing streetscape;
  - Topography and setting;
  - Significant views and vistas and existing viewlines to and from heritage items and Contributory 1 buildings;
  - Historical subdivision patterns that contribute to the maintenance of the HCA's overall aesthetic character;
  - The type, siting, form, height, bulk, roofscape, scale, materials and details of adjoining or nearby Contributory 1 buildings (refer to **Section 3.2** of this document);
  - The interface between the public domain and building alignments/boundaries;
  - The rhythm and proportions of the fenestration (openings) of surrounding buildings, particularly Contributory 1 buildings, should be respected and where possible reinforced as part of any new development.
- C2 Infill development is not to exceed the established and/or predominant scale/height of existing buildings within a streetscape.
- C3 Development of a greater height/scale than surrounding buildings may be permissible where it can be demonstrated that this will not negatively impact the overall character of the Teralba HCA or disrupt the integrity/consistency of a streetscape.
- C4 Infill development is not to be designed as a copy or replica of other buildings in the area, but is to complement the character of the HCA by responding sympathetically to the controls included within this section.
- C5 Infill development is to be designed with reference to the NSW Heritage Office (now Heritage, Department of Premier and Cabinet [DPC]) publication *Design in Context: Guidelines for Infill Development in the Historic Environment*.

### **3.1.7 Subdivision and Lot Amalgamation**

#### Objectives

- O1 To ensure that the character of the HCA is not adversely impacted by uncharacteristic subdivision patterns and associated inappropriate development.
- O2 To ensure the significance of the heritage items, Contributory 1 buildings and the overall HCA is not reduced through reduced or inappropriate curtilages.

#### Controls

- C1 The subdivision and development of Teralba occurred in stages from the late nineteenth century onwards, and the historical pattern of subdivision within the Teralba HCA has generally been maintained. Further subdivision or lot amalgamation that would adversely impact or significantly obscure the historical subdivision pattern is not supported.
- C2 Any application that seeks to subdivide or amalgamate allotments that contain heritage items or Contributory 1 buildings must be informed by a heritage impact statement that includes consideration of the contribution that the subdivision pattern makes to the heritage significance of those items/buildings and/or the wider HCA.
- C3 Changes to property boundaries are not supported where this would inappropriately reduce the curtilage of a heritage item or Contributory 1 building.

### **3.1.8 Adaptive Re-Use and Use (of Buildings)**

#### Objectives

- O1 To ensure that the uses of buildings within the HCA are appropriate to their heritage significance.
- O2 To ensure that the adaptive re-use of buildings within the HCA is done in an appropriate and complementary manner.

#### Controls

- C1 Changes in use/new uses should be consistent with the historical use of a heritage item or Contributory 1 building (i.e. residential properties should maintain a residential use, commercial properties should maintain a commercial use).
- C2 The commercial character of the Teralba HCA, which is defined by the axis of the commercial precinct, located at the intersection of York Street and Anzac Parade, is to be maintained and enhanced.
- C3 Changes in use may be supportable where the new use requires no more than a minimal degree of alteration to significant fabric and building elements. Work required to facilitate a change in use should be reversible where feasible.
- C4 New uses that require an inappropriate degree of physical intervention to a heritage item or Contributory 1 building are not supported.
- C5 New uses must not adversely impact the external presentation of heritage items or Contributory 1 buildings.



- C6 Alterations and/or additions required to support a new use must not obscure the understanding of a building's heritage significance.

### **3.1.9 Public Domain Elements**

#### Objectives

- O1 To ensure development does not adversely impact on the significance of heritage items in the public domain.

#### Controls

- C1 The introduction of or changes to any public domain elements within the Teralba HCA should have regard for the area's identified significance, and be of a sympathetic and complementary design.
- C2 The introduction of or changes to any public domain elements within the Teralba HCA must not obscure any heritage items or Contributory 1 buildings within the HCA. Public domain elements also must not obscure or negatively impact the visual character or aesthetic presentation of streetscapes.
- C3 When assessing impacts to heritage items or precincts, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. Amenity provided by the streetscape should not be reduced. Appropriate measures to address impacts may include replacement street tree planting, maintenance of streetscape amenity to and from the item or area.
- C4 The introduction of new public domain elements that complement and reinforce the heritage character of Teralba is encouraged, particularly within the principal commercial axis.

### **3.1.10 Site Coverage**

#### Objectives

- O1 To ensure the bulk and form of future development reflects the historic development of the Teralba HCA.
- O2 To ensure that allotments are not overdeveloped.

#### Controls

- C1 The maximum site coverage, including ancillary development, must not exceed 45%, unless it can be demonstrated that the proposal will not have a detrimental impact on the heritage values within the precinct.

### **3.1.11 Demolition of Items in the HCA**

#### Objectives

- O1 To ensure the retention of heritage items and contributory items in the HCA.

#### Controls

- C1 A development application will need to be submitted to Council for the proposed demolition of any item within the HCA, where this demolition work does not fall under the exemptions outlined in the LMLEP 2014.

- C2 The Development Application will need to include a Heritage Impact Statement, including an assessment of archaeological potential.
- C3 The heritage impact statement shall address:
- i. How will the proposed works affect the cultural significance of the place and the Precinct?
  - ii. What alternatives have been considered to ameliorate any adverse impacts?
  - iii. Will the proposal result in any heritage conservation benefits that might offset any adverse impacts?
- C4 If structural failure is cited as a justification for demolition, evidence must be provided from a registered structural engineer that the structural integrity of the building has failed, to the point where it cannot be rectified without removal of a majority of its significant fabric and/or prohibitive costs.
- C5 A development application that includes demolition of an existing building must also request approval for a replacement building, that complies with the objectives and controls of this Area Plan, concurrently.
- C6 Chimneys must be retained unless they are structurally unsound and unable to be restored. An application for removal must be supported by a report prepared and certified by a qualified structural engineer.
- C7 In the case of a proposal for demolition of a listed heritage item or contributory building the Council may require the applicant, as a condition of approval, to submit an archival record of the place, prior to the commencement of demolition. In most cases this would include a digital plan, with digital photographs of the place in its setting, elevations, together with a digital photograph of each room, and any special feature(s) that the place may have. These photographs should be keyed to the plan with numbers and arrows."

## **3.2 Controls for Specific Building Elements**

### **3.2.1 Garages and Carports**

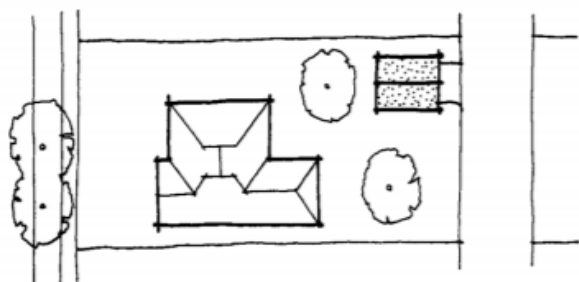
#### Objectives

- O1 To ensure that garages and carports do not adversely impact the significance of heritage items, Contributory 1 buildings, or the overall character of the Teralba HCA.

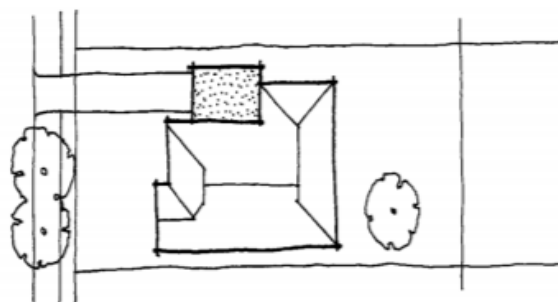
#### Controls

- C1 Garages and carports are not to be located in front of the front façade.
- C2 Garages and carports are most appropriately located to the rear of the building. Where this is not feasible, garages and carports are to be located to the side of the building and behind the front building line.
- C3 If off-street carparking can only be accommodated to the front of the building line, this is to be limited to open carports of sympathetic and unobtrusive materials, or a discrete hardstand area.
- C4 The style, materiality and colour scheme of garages and carports is to complement that of the associated dwelling or building.

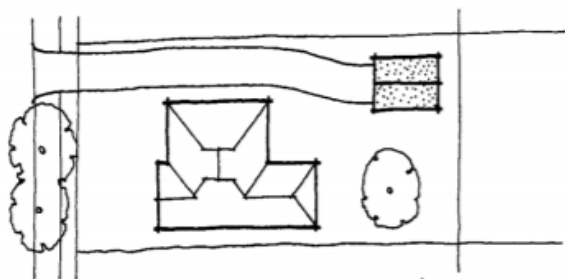
- C5 Double-storey garages are not appropriate unless it can be demonstrated that no adverse impacts will occur to heritage items, Contributory 1 buildings, or the significance of the wider HCA.



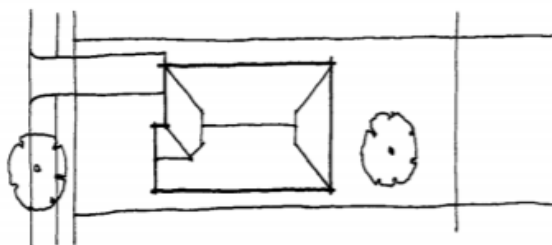
1. Locate at the rear. with access from a rear lane.



3. Locate at the side of the house. well set back



2. Locate at the rear. with access from the front.



4. Uncovered paved area at the front

5. If appearance of house is compromised, and no other options, on-street parking is preferred.

## Plate 2 Appropriate locations for garages/carports

### **3.2.2 Verandahs**

#### Objectives

- O1 To ensure that new verandahs, or changes to verandahs, do not adversely impact the significance of heritage items, Contributory 1 buildings, or the overall character of the Teralba HCA.
- O2 To encourage the retention and/or reinstatement of original verandahs to heritage items and Contributory 1 buildings.

#### Controls

- C1 Original and/or sympathetic verandahs are to be retained and conserved. Sympathetic verandahs are those which complement the visual character and significance of the associated building. Heritage advice should be sought to determine original and/or sympathetic verandahs.
- C2 Reinstall missing verandahs where this would have a positive contribution to the heritage significance of the building and to the overall heritage significance of the Teralba HCA. Reinstatement should be based on historical (photographic) evidence where this is available.
- C3 Non-original and/or intrusive verandahs should be removed from heritage items and Contributory 1 buildings.
- C4 Enclosing front verandahs to heritage items or Contributory 1 buildings is not appropriate.
- C5 The design, form, scale and siting of new verandahs within the HCA must be broadly consistent with the heritage character of the wider HCA, and with original/early verandahs located within the surrounding streetscape. This is particularly relevant within the more intact streetscapes, including Blair Street, York Street and Awaba Street.
- C6 The style of verandah is to be appropriate to the architectural style of the building (i.e. Victorian, Federation or Inter-War)
- C7 Glass balustrades to verandahs within the HCA are not appropriate. More traditional materials such as timber or iron are to be used.

### **3.2.3 Materials, Colours and Finishes**

#### Objectives

- O1 To ensure that materials and finishes are consistent with and complementary to the character and heritage significance of the HCA and significant buildings contained therein.

#### Controls

- C1 Proposed colour schemes to new and existing buildings are to be broadly consistent with the predominate colour schemes already present within the HCA and should be outlined in a schedule of (external) colours and materials to be provided as part of any development application being submitted. It is noted that there is a high degree of variability within the Teralba HCA in terms of paint colours, and this provides a greater degree of flexibility with regards to new paint schemes.



- C2 For heritage items or Contributory 1 buildings, attempts must be made to investigate original colour schemes. Where this can be determined, an original or early colour scheme should be reinstated.
- C3 Colour schemes should be selected with reference to: *Colour Schemes for Old Australian Houses*, Ian Evans, Clive Lucas and Ian Stapleton, The Flannel Flower Press, 1984.
- C4 Ensure materials and finishes are appropriate and sympathetic to the aesthetic character of the wider HCA and significant buildings contained therein.
- C5 Materials and finishes are to be selected based on their characteristic usage (e.g. brick to sub-floor levels for buildings on sloping blocks, corrugated iron to roofs, etc).
- C6 The most appropriate and therefore preferred finish type for external façades is painted weatherboard. Face brick and painted brickwork is also appropriate, particularly to verandahs (including posts/piers) and sub-floor levels. Timber joinery to windows, doors and verandahs is appropriate and supported. Tile and corrugated iron roofs are also appropriate.
- C7 Unpainted and/or unrendered brickwork to heritage items and Contributory 1 buildings must remain unpainted and/or unrendered.
- C8 Original or early render is to be retained and conserved. New render to heritage items or Contributory 1 buildings is to match existing render where this is present.
- C9 Where new materials and finishes are required, these are to be complementary to, but not seek to replicate, original materials and finishes. New materials and finishes must be discernible as new upon close inspection.

### **3.2.4 Other Features (Parapets, Awnings and Roofs)**

#### Objectives

- O1 To ensure that building features are consistent with and complementary to the character and heritage significance of the HCA and significant buildings contained therein.

#### Controls

- C1 Parapets to commercial buildings of significance must be retained and conserved.
- C2 New parapets to commercial buildings must be consistent and/or complementary to existing original/early parapets within the HCA.
- C3 Suspended awnings to commercial buildings of significance are to be retained and conserved.
- C4 New awnings to commercial buildings are to be consistent with original/early awnings present within the HCA (i.e. suspended awnings of timber/iron construction)
- C5 Original roof forms must be retained and conserved, with materials able to be replaced if required. New materials to original roof forms are to be consistent with original/early materials and/or existing, adjacent fabric.
- C6 Traditional roof forms present within the HCA are to be used for new or infill development. Gable and hipped roof forms are most appropriate. The pitch of new roof forms must have regard to the pitches of existing roof forms to heritage items and Contributory 1 buildings within the HCA.

### 3.2.5 Fences

#### Objectives

- O1 To ensure that fences are consistent with and complementary to the character and heritage significance of the HCA and significant buildings contained therein.

#### Controls

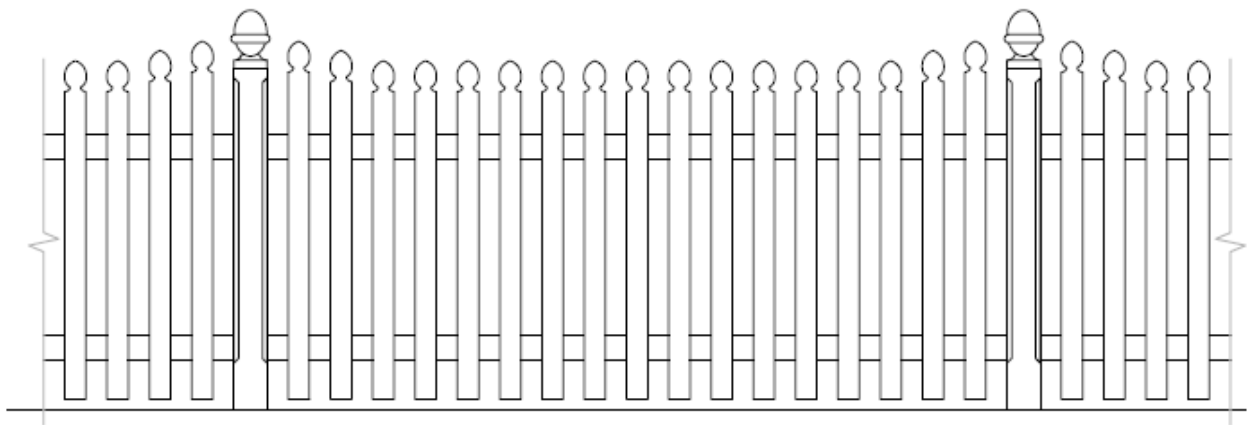
- C1 Original and/or sympathetic fences are to be retained and conserved. Sympathetic fences are those which complement the visual character and significance of the associated building. Heritage advice should be sought to determine original and/or sympathetic fences.
- C2 New fences are to be generally consistent and/or complementary to existing original/early fences within the HCA.
- C3 Front fences are to be of a design that is appropriate to the style and period of the building, as outlined below. It should be noted that the below examples are indicative only.

**Victorian Buildings**      timber picket fences or iron palisade fences, vertical emphasis

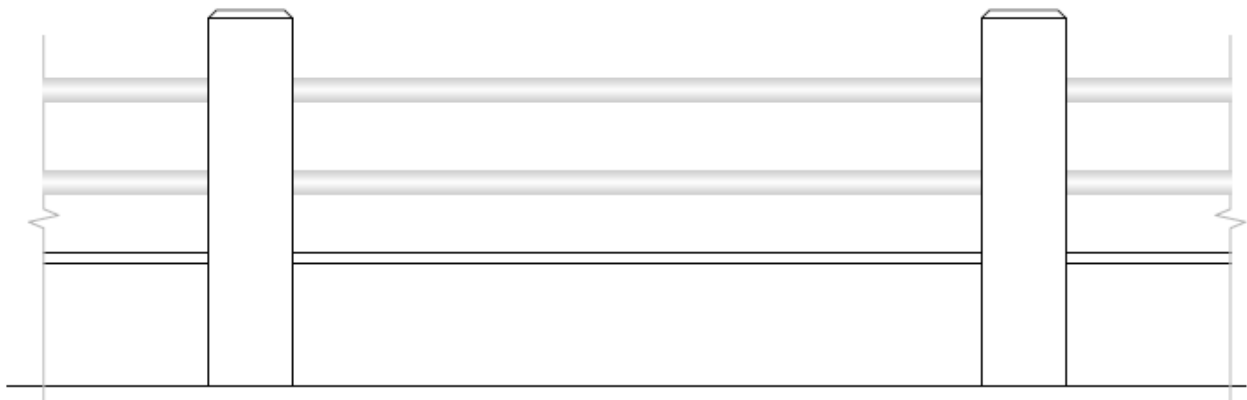
**Federation Buildings**      timber picket fences, timber picket fences on brick or stone base courses, brick or stone bases with iron panels, vertical emphasis

**Inter-War Buildings**      low brick fences, brickwork that matches brick detailing to the building, some detailing to brickwork such as curved bricks or corbelling, horizontal emphasis

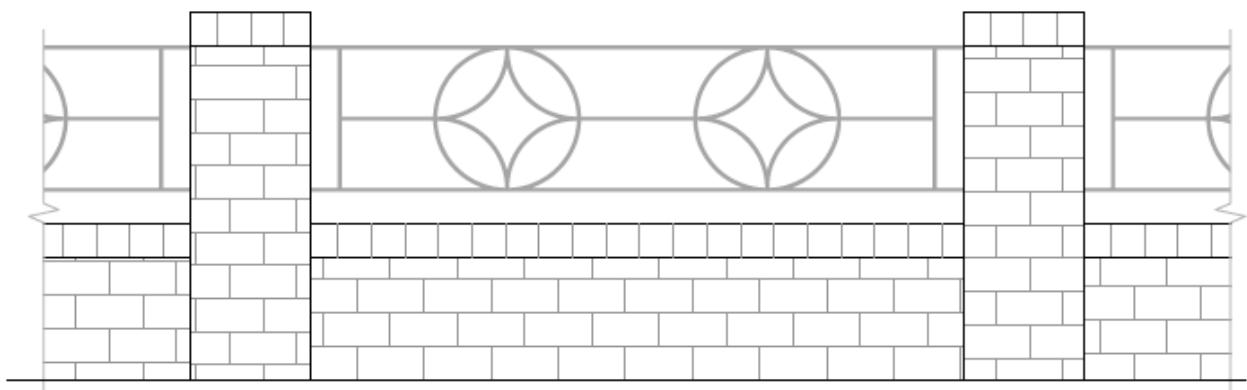
- C4 Where possible, maintain continuous fence lines and heights within streetscapes.
- C5 Traditionally, fences to front elevations were kept low to optimise the visibility of buildings. There is no precedent for high fences within the Teralba HCA, and high fences are generally not supportable. The height limit of front fences within the HCA is 1.2 metres.



**Victorian/Federation**



**Inter-War**



**Post-War**

**Plate 3 Illustration of typical fence styles referred to in this DCP**

### 3.2.6 Signage

Signage on heritage buildings for a commercial use, home business or home occupation needs to be of a standard and type that ensures the signs do not detract from the heritage significance of the building or heritage conservation values of the HCA.

Refer to Part 9 - Specific Land Uses – Signage of Council’s DCP 2014 for information about signage types.

#### Objectives

- O1 To ensure that the design and configuration of signage positively contributes to the amenity of the building and streetscape of the heritage conservation area.
- O2 To minimise incoherence of signage resulting from a proliferation of signs at the locality.

#### Controls

- C1 Identification signs – including nameplates on professional offices, community facilities, recreational facilities, or residences for home businesses – are limited to 0.6m<sup>2</sup>, and one sign per street frontage.
- C2 Fascia signs must be located on an awning, and confined to the height of the awning and its length parallel to the street. They must not project more than 300 millimetres out from the fascia and/or walls, and must integrate with the design of the building.
- C3 Under awning signs must maintain a 2.6 metre clearance above ground level and must not project beyond the edge of the awning. They must be limited to one sign per street frontage located under or below the awning level, and are not to exceed 5m<sup>2</sup>.
- C4 Parapet signs are to be aligned with the dimensions of windows or doors and be centred on the parapet. The content of the sign should be limited to the name or classification of the business.
- C5 Flush wall and hamper signs must not extend laterally from the wall, or beyond the edges of the wall. If internally illuminated, they must maintain a minimum of 2.6 metres above ground level and must not be flashing or moving signs. They must not exceed 25 percent of the wall space for each frontage.
- C5 Projecting wall signs are permissible above the awning where the parapet wall has sufficient height to ensure the sign is in proportion. Projecting wall signs are not to extend above the parapet height and are not to extend more than 750 millimetres from the face of the wall. The vertical dimension of the sign is to be equal to or greater than the horizontal dimension.

### 3.3 Controls for Heritage Items

Heritage items are those listed in LMLEP 2014 [Schedule 5], which have been identified as having heritage significance relating to the social, cultural, natural, or technical history of the local area. These include but are not limited to ‘Great Northern Hotel’ (Item ID 161), ‘House “AS”’ (Item ID 164), and ‘Teralba Public School’ (Item ID 168). Any proposals for development must achieve a reasonable balance between meeting amenity and contemporary needs, and protecting the heritage significance of the item.



### 3.3.1 Local Heritage Items

#### Objectives

The objectives of these controls are to ensure that development to heritage items:

- O1 Encourage the retention of existing heritage items and their significant elements;
- O2 Is based on the understanding and conservation of the heritage significance of the item;
- O3 Encourages heritage items to be used for purposes that are appropriate to their heritage significance;
- O4 Maintains the setting of the heritage item including the relationship between the item and its surroundings; and
- O5 Encourages the removal of inappropriate alterations and additions, and the reinstatement of significant missing details and building elements.

#### Controls

- C1 Any development application involving a heritage item is to be accompanied by a heritage impact statement, conservation management plan, or conservation management strategy, depending on the scale of works.
- C2 Development to a heritage item is to:
  - Be consistent with an appropriate Heritage Impact Statement, Conservation Management Plan or Conservation Management Strategy;
  - Protect the setting of the heritage item;
  - Retain significant internal and external fabric and building elements;
  - Retain significant internal and external spaces;
  - Remove unsympathetic alterations and additions;
  - Reinstatement missing details and building elements;
  - Use materials, finishes and colours that are appropriate to the significant periods of development or architectural character of the item; and
  - Respect the pattern, style and dimensions of original windows and doors.
- C3 Original room configuration should be retained in the first instance. Alterations to the room layout of heritage items are to ensure that the original room configuration remains discernible and can be interpreted.
- C4 If there is any likelihood of an impact on any significant archaeological relics from a period prior to the current building, development must ensure that the impact is managed according to the assessed level of significance of those relics.
- C5 Original and early trees, plantings, garden layouts and landscaping should be retained and traditional garden designs should be reinstated where possible.

### **3.3.2 Changing the Use of a Local Heritage Item**

- C1 Any proposal involving the change of use (including the adaptive reuse) of a heritage item is to demonstrate that:
- the new use requires minimal alterations to significant fabric and building elements, and that any changes to these are reversible or have minimal impact on the heritage significance of the item;
  - any internal changes do not compromise the heritage significance and the external appearance of the building;
  - alterations and/or additions required to support the new use do not obscure the understanding of the building's significant use;
  - the significant use can be interpreted;
  - the introduction of new services will not have a detrimental impact on significant fabric or spaces; and
  - be consistent with a schedule of conservation works or conservation management plan, if available.
- C2 Proposals to change the use of public and community buildings must take into account the effect on significant interior elements and fittings.
- C3 The significant use of the building should be interpreted on site. Interpretation of the use may include the use of historic artefacts, the in-situ retention of machinery and signage, or artistic interpretation.

### **3.3.3 Vicinity Controls**

Development in the vicinity of a heritage item can often have an impact upon the heritage significance of the item, in particular through an impact on the setting of the item. Determining whether a property is within, or impacts upon, the setting of a heritage item is a necessary component of the site analysis of a proposal. Specialist heritage advice may need to be obtained in order to determine a property's setting. If in doubt, it is recommended that clarification be sought from the Council prior to preparing a development application.

The determination of the setting of a heritage item should consider the historical property boundaries, significant vegetation and landscaping, archaeological features, and significant views to and from the property.

#### Objectives

- O1 The objective of these provisions is to ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item.

#### Controls

- C1 Alterations and additions to buildings and structures, and new development of sites in the vicinity of a heritage item are to be designed to respect and complement the heritage item in terms of the:

- building envelope;
- proportions;
- materials, colours and finishes; and
- building and street alignment.

C2 Development in the vicinity of a heritage item is to minimise the impact on the setting of the item by:

- providing an adequate area around the building to allow interpretation of the heritage item;
- retaining original or significant landscaping (including plantings with direct links or association with the heritage item);
- protecting (where possible) and allowing the interpretation of archaeological features; and
- retaining and respecting significant views to and from the heritage item.

### **3.4 Controls Based on Significance Gradings**

Buildings and sites within the heritage conservation area are identified on the Building Contributions Map (based on **Figure 2** of this document) as being Contributory 1, Contributory 2 or Non-Contributory to the character and heritage significance of the Teralba HCA. The following controls have been developed in response to these recognised levels of significance.

#### **3.4.1 Contributory 1 Buildings**

Contributory 1 buildings are buildings that make an important and significant contribution to the character of the Teralba HCA. They have a reasonable to high degree of integrity and date from a key development period of significance.

Any proposals for development must achieve a reasonable balance between meeting amenity and contemporary needs, and protecting the heritage significance of the item.

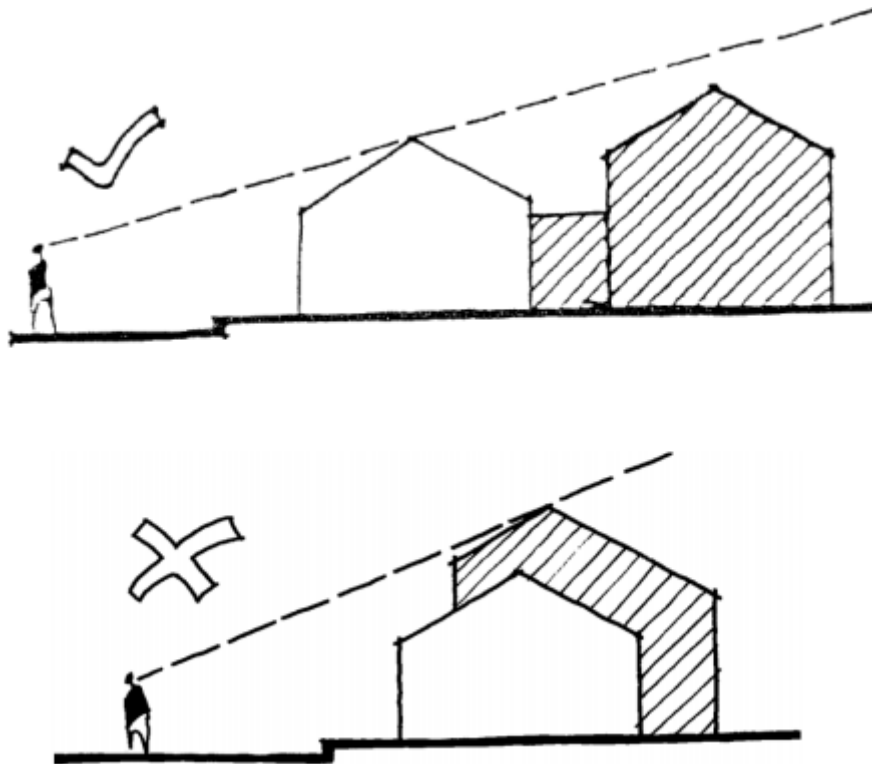
##### Objectives

O1 The objectives of these controls are to ensure that development to Contributory 1 buildings:

- encourages the retention of Contributory 1 buildings and their significant elements.
- is based on an understanding of the heritage significance of the building.
- encourages Contributory 1 buildings to be used for purposes that are appropriate to their heritage significance.
- maintains the setting of the Contributory 1 building, including the relationship between the building and its surroundings.
- encourages the removal of inappropriate alterations and additions, and the reinstatement of significant missing details and building elements
- encourages alterations and additions that retain and enhance the character of the building, the streetscape, and the broader HCA.

## Controls

- C1 Works to Contributory 1 buildings must be undertaken in accordance with the controls contained within this DCP more broadly.
- C2 Works to Contributory 1 buildings are to be assessed in the form of a heritage impact statement to be submitted to Council as part of a development application.
- C3 Major works to Contributory 1 buildings (such as additions) should be informed by a conservation management schedule or conservation management plan.
- C4 Contributory 1 buildings are to be retained unless the consent authority determines that removal is justified in exceptional circumstances (e.g. based on soundly demonstrated structural, condition, or safety issues that conclusively preclude retention of the building.)
- C5 Original roof forms are to be retained and maintained to Contributory 1 buildings.
- C6 Additional storeys or changes to the existing height of Contributory 1 buildings are not appropriate.
- C7 Alterations or additions to Contributory 1 buildings are to:
- respect the significant original or characteristic built form of the building.
  - retain significant fabric.
  - retain, and where possible, reinstate significant features and building elements (e.g. verandahs, fences, chimneys, joinery, architectural detailing).
  - use appropriate and complementary materials, finishes and colours.
  - respect the pattern, style, and dimensions of original windows and doors.
- C8 Alterations and additions must not significantly alter the appearance of principal or significant façades of Contributory 1 buildings, except to remove detracting or intrusive elements.
- C9 Additions are to be located to the rear of Contributory 1 buildings. Additions to the front or side of the building are not supported.
- C10 Additions to the rear of a Contributory 1 building are not to sit higher than the established roof form of the building. The addition should be designed so as to minimise its visibility from the streetscape and from within existing views to the building. The addition should not visually dominate the building. Consideration should be given to sightlines to additions from the streetscape.



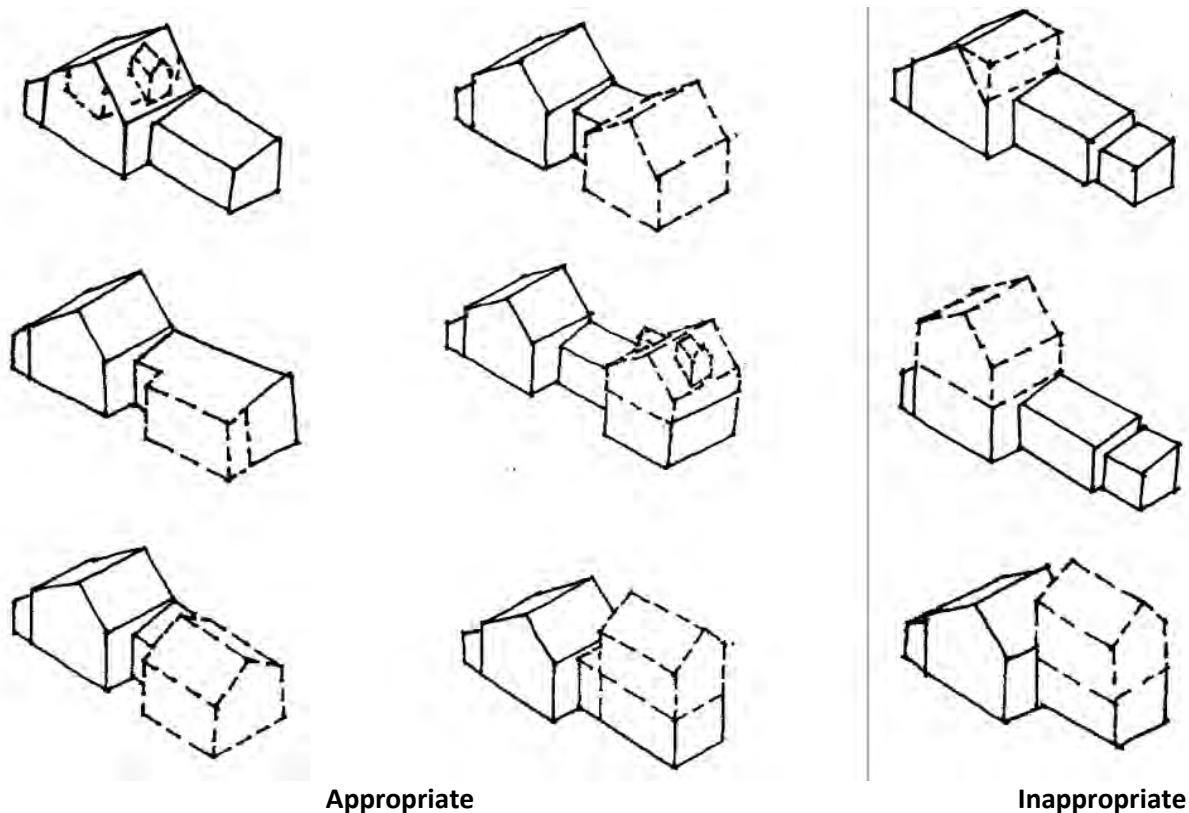
**Plate 4** Appropriate (top) and inappropriate (bottom) visibility of rear additions

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C11 Additions should be clearly discernible as new work and as a 'separate entity' to the building. This can be achieved through:

- a detached addition;
- an addition that is attached via a breezeway or walkway;
- small scale additions in the form of a lean-to or pavilion;
- additions that maintain the scale and envelope of the building by making use of the underlying topography.





**Plate 5** Examples of appropriate additions (left of line) and inappropriate additions (right of line)

© Woollahra Municipal Council, available at: [https://www.woollahra.nsw.gov.au/\\_data/assets/pdf\\_file/0015/150531/Chapter\\_C2\\_Woollahra\\_HCA.pdf](https://www.woollahra.nsw.gov.au/_data/assets/pdf_file/0015/150531/Chapter_C2_Woollahra_HCA.pdf)

- C12 The interface between additions and original building forms is to be made clear through an appropriate transition in materiality and/or design.
- C13 Physical intervention to Contributory 1 buildings to facilitate an addition must be carefully designed to minimise physical impacts and avoid, as much as is feasible, the removal of original fabric. The accompanying heritage impact statement must demonstrate the exploration of design options and justify the ultimate design outcome on the basis of minimising intervention.
- C14 Adaptive re-use proposals must aim to result in the least possible physical and visual impact. Significant fabric should be retained as part of any adaptive re-use, and changes concentrated in areas that have already been modified or are of lesser significance. The street presentation of the building must be maintained and, where possible, improved. An accompanying heritage impact statement must include a demonstration of how alternative proposals have been considered.
- C15 Works to the interiors of Contributory 1 buildings are to:
- retain the original floor plan as much as is possible, where this is still discernible.
  - make attempts to interpret the original floor plan through design elements if changes to the original floor plan are proposed.
  - retain and conserve original fabric including flooring, joinery, decorative ceilings, fireplaces, etc, unless it is beyond repair. Any proposal that states that an original or significant element is beyond repair must be supported by an assessment provided by a suitably qualified professional such as a structural engineer.

### 3.4.2 Contributory 2 Buildings

Contributory 2 buildings are buildings that do not detract from the significant character of the heritage conservation area or heritage streetscape. Buildings that do not belong to a key period of significance, good contemporary infill, and development from a key period of significance which has been irreversibly altered, are identified as Contributory 2.

#### Objectives

- O1 To maintain the character and significance of the Teralba HCA through the management of Contributory 2 buildings.
- O2 To encourage the removal of unsympathetic alterations and additions to improve the contribution of Contributory 2 buildings to the heritage conservation area.

#### Controls

- C1 The removal of intrusive or detracting features from a building graded as Contributory 2 is encouraged where this would improve the building's contribution to the heritage significance of the Teralba HCA.
- C2 Demolition of Contributory 2 buildings will only be considered where it can be demonstrated that the replacement building will not compromise the heritage significance of the heritage conservation area or heritage streetscape.
- C3 The redevelopment of sites that contain Contributory 2 buildings is to be undertaken in accordance with the controls contained within **Section 3.1.6** of this document.
- C4 Works to Contributory 2 buildings must have regard for the surrounding streetscapes, nearby heritage items and Contributory 1 items, and overall heritage conservation area with regard to:
  - style, colour, materiality, form, scale and height.
  - views and vistas of significance.
  - the integrity and consistency of the surrounding streetscape.

### 3.4.3 Non-Contributory Buildings

Non-Contributory buildings are buildings that are intrusive to a heritage conservation area or heritage streetscape because of inappropriate scale, bulk, setbacks, setting or materials. They do not represent a key period of significance and detract from the character of a heritage conservation area or heritage streetscape.

#### Objectives

- O1 To encourage the sympathetic redevelopment of sites containing Non-Contributory buildings in a way which reinforces the heritage context of the area.
- O2 To maintain the character and significance of the Teralba HCA through the management of Non-Contributory buildings.

## Controls

- C1 The redevelopment of sites that contain Non-Contributory buildings is encouraged where the replacement building would make a more positive contribution to the heritage significance of the Teralba HCA.
- C2 The redevelopment of sites that contain Non-Contributory buildings is to be undertaken in accordance with the controls contained within **Section 3.1.6** of this document.
- C3 Works to Non-Contributory buildings must have regard for the surrounding streetscapes, nearby heritage items and Contributory 1 items, and overall heritage conservation area with regard to:
- style, colour, materiality, form, scale and height.
  - views and vistas of significance.
  - the integrity and consistency of the surrounding streetscape.